



**NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56**

**CONTACT INFORMATION:**

Applicant is to complete the following information.

<b>Applicant Contact Information prior to permit issuance:</b>		<b>Applicant Contact Information post permit issuance:</b>	
Name: <u>Kelly McDonald</u>	Company: _____	Name: <u>Kelly McDonald</u>	Company: _____
Address: <u>1080 W Ewing St, BLDG B, Seattle, WA 98119</u>	Address: <u>1080 W Ewing St, BLDG B, Seattle, WA 98119</u>	Phone: <u>(206) 236-1700</u>	Phone: <u>(206) 236-1700</u>
Phone: <u>(206) 236-1700</u>	Phone: <u>(206) 236-1700</u>	Email: <u>permits@seabompldriving.com</u>	Email: <u>permits@seabompldriving.com</u>

**REQUIRED SPECIAL INSPECTIONS / STRUCTURAL OBSERVATIONS:**

It is the Engineer of Record's responsibility to specify all required Special Inspections or Structural Observation (check items below). The owner is responsible for hiring an approved private Special Inspector for the checked inspections noted below. All Special Inspectors (except Geotechnical) must be WA80 certified. When Special Inspection or Structural Observation is required, the report shall be submitted to the City Building Inspector prior to the City inspection. **Note: Inspection by the City Inspector is required in addition to the Special Inspection or Structural Observation indicated below. Do not cover or conceal any work prior to the City inspection.**

**STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR):**  
 Engineer of Record: Adam Bergman Company: KPFF Phone: \_\_\_\_\_  
 General Conformance to Construction Documents  Other: SEE S1.1

**SOILS / GEOTECHNICAL:**  
 Special Inspector: \_\_\_\_\_ Company: \_\_\_\_\_ Phone: \_\_\_\_\_  
 Erosion control measures  Subsurface drainage placement  
 Shoring, installation and monitoring  Verify fill material and compaction  
 Observe and monitor excavation  Rockery installation  
 Verification of soil bearing  Pile placement (auger/cast/driven pile)  
 Other: \_\_\_\_\_

**REINFORCED CONCRETE:**  
 Special Inspector: \_\_\_\_\_ Company: \_\_\_\_\_ Phone: \_\_\_\_\_  
 Concrete strength  Retaining wall construction  
 Reinforcing steel and concrete placement  Prestressed / Precast construction  
 Shotcrete placement  Other: \_\_\_\_\_  
 Other: \_\_\_\_\_

**STRUCTURAL STEEL:** (SEE PERMITS CHART A)  
 Special Inspector: \_\_\_\_\_ Company: \_\_\_\_\_ Phone: \_\_\_\_\_  
 Fabrication and shop welds  Moment Frame construction  
 Structural steel erection, field welds and bolting  Other: \_\_\_\_\_  
 Other: \_\_\_\_\_

**STRUCTURAL MASONRY:**  
 Special Inspector: \_\_\_\_\_ Company: \_\_\_\_\_ Phone: \_\_\_\_\_  
 Mortar strength  Glass unit masonry installation  
 Masonry unit strength  Wall panel and veneer installation  
 Other: \_\_\_\_\_  
 Other: \_\_\_\_\_

**WOOD:**  
 Special Inspector / Engineer of Record: \_\_\_\_\_ Company: \_\_\_\_\_ Phone: \_\_\_\_\_  
 Lateral resisting system construction  High strength diaphragm construction  
 Other: \_\_\_\_\_  
 Other: \_\_\_\_\_

**OTHER SPECIAL INSPECTIONS:**  
 Special Inspector: \_\_\_\_\_ Company: \_\_\_\_\_ Phone: \_\_\_\_\_  
 Epoxy grout installations  Stucco installation  
 Expansion anchor installations  Infiltration System  
 Other post installed anchors  Exterior Insulation Finish System (EIFS) installation  
 Alternative construction methods: \_\_\_\_\_  
 Alternative construction materials: \_\_\_\_\_

**DEFERRED SUBMITTALS:**

The Applicant is required to allow all deferred submittals / shop drawings for submittal to the City for review and approval prior to item fabrication / construction.

**ENERGY CODE COMPLIANCE INFORMATION:**

Indicate where the following information is located in the drawing set. Alternatively, incorporate or include the Residential Energy Code Prescriptive Compliance (REPC) Form into the drawing set.

<input type="checkbox"/> Building envelope: (see TAB A02.2.2) _____	<input checked="" type="checkbox"/> Air Leakage Testing: (see TAB A02.2.2) _____
<input type="checkbox"/> Whole house ventilation: (see TAB A02.2.2) _____	<input checked="" type="checkbox"/> Provide air leakage test report verifying air leakage rate does not to exceed 5 air changes per hour.
<input type="checkbox"/> Energy Credit Information: (see TAB A02.2) _____	<input checked="" type="checkbox"/> Duct Leakage Testing: (see TAB A02.2.2) _____
<input type="checkbox"/> REPC Form Information: (if incorporated within drawing set) (see www.mercer.gov/BuildingCode) _____	<input checked="" type="checkbox"/> Postconstruction Test: (see TAB A02.2.2) _____

TO BE COMPLETED BY APPLICANT

TO BE COMPLETED BY APPLICANT

TO BE COMPLETED BY DSG

TO BE COMPLETED BY DSG

TO BE COMPLETED BY DSG

TO BE COMPLETED BY DSG

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**PROJECT ALERTS:**  
 Construction of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island. Approved plans must be kept on site and maintained in good condition.

- Refer to "Conditions of Permit Approval" provided at permit issuance for required construction rules and regulations, including:
  - Site Considerations
  - Hours of Work
  - Construction Vehicle Parking Restrictions
  - Access Road Requirements
  - Additional Fire Code Requirements
  - Drainage Requirements
  - Sewer Requirements
  - Water Service Requirements
- Refer to "Preconstruction Meeting Checklist" provided at the preconstruction meeting for development related requirements.
- Temporary site access with minimum 6" high numbers visible from the street must be installed.
- Erosion control measures must be as shown on approved project drawings. All erosion control is to be in place and inspected prior to the start of any site work.
- A City of Mercer Island Business License is required for all subcontractors. Call (206) 275-7783 for more information.

**TREE PROTECTION REQUIREMENTS:**

- Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.
- No trees shall be cut without a City of Mercer Island tree permit.
- Replacement trees must be a minimum of six feet tall at installation. They must be planted and approved prior to final inspection.
  - For this project, N/A trees are authorized to be removed and replaced with N/A trees.
  - This project appears to be within a protected eagle nest area. Contact Federal Fish and Wildlife at (360) 534-9304 or visit their website at <http://www.fws.gov/pacific/eagle>

**FIRE PROTECTION REQUIREMENTS:**

- Separate Permits are required for ALL fire protection systems. For more information, see <http://www.mercer.gov/Page.asp?NavID=2614>
- |   |   |
|---|---|
| <input type="checkbox"/> Fire Sprinkler                   | <input type="checkbox"/> Monitored Household Fire Alarm per NFPA 72 |
| <input type="checkbox"/> NFPA 13D                         | <input type="checkbox"/> Plus                                       |
| <input type="checkbox"/> NFPA 13R                         | <input type="checkbox"/> NFPA 13                                    |
| <input type="checkbox"/> Approved Fire Code Alternatives: | <input type="checkbox"/> Other:                                     |
| <input type="checkbox"/> FCA1                             | <input type="checkbox"/> FCA3                                       |
| <input type="checkbox"/> FCA2                             | <input type="checkbox"/> FCA4                                       |

**WATER SUPPLY REQUIREMENTS:**

- Fire sprinkler design calculations must be provided prior to determining water supply system requirements.
- Water Supply system upgrade required
  - City Installation.
  - Applicant Installation.
- Required Service Line Size: N/A Required Supply Line Size: N/A Required Meter Size: N/A (water main to meter)
- Abandonment of existing service and meter required at main.
- Pressure reducing valve required if pressure exceeds 80 psi.
- Reduced pressure backflow assembly (RPBA) required for all lots with waterfront or non-city water supply (private wells or lake irrigation).
- Additional water supply requirements:

**DRAINAGE REQUIREMENTS:**

- On site detention system required.
- On site infiltration system required.
- As-built Utility drawings required.
- Full Size drawings required.
- Direct discharge into the lake.
- No Storm Water permit required.
- Connection to public storm drainage conveyance system req'd.
- Other:

**WID SEWER REQUIREMENTS:**

- Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties.
  - Video tape of existing sewer required (see standard details)
  - New connection.  Connect to existing.  Disconnect permit required.  Reconnect permit required.
  - Other:
- Note: When side sewer is to be connected to the lake line you will need to schedule three (3) days in advance with the City of Mercer Island Maintenance Department at (206) 275-7800.

**APPROVED CODE ALTERNATIVES:**

- Code alternatives must be inspected. Refer to the Inspection Checklist
- |                               |                               |
|-------------------------------|-------------------------------|
| <input type="checkbox"/> CA1: | <input type="checkbox"/> CA2: |
|-------------------------------|-------------------------------|

**SURVEY REQUIREMENTS** (The following survey information must be submitted when checked):

- Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City reserves the right to request an impervious area survey at any time prior to issuance of Certificate of Occupancy.
- Surveyor: \_\_\_\_\_ Phone: \_\_\_\_\_
- Building height survey
  - Building setback survey
  - Impervious surface survey
  - Other: \_\_\_\_\_
- MAXIMUM 40 PERCENT ALTERATION INSPECTION:** (see TAB A02.2.2)  
 A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered. Contact the Building Inspector at (206) 275-7730.  
 Civil / Drainage  LUP / Setback requirements

**GEOTECHNICAL INFORMATION:**

Land clearing, grading, filling and foundation work within geologic hazard areas is **NOT PERMITTED** between October 1 and April 1 without an approved Seasonal Development Limitation Waiver.

- Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report. A copy of report and other geotechnical information must be kept on site at all times.
- Geotechnical Engineer \_\_\_\_\_ Phone \_\_\_\_\_

**SEASONAL DEVELOPMENT LIMITATION RESTRICTION:**

- Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1.
  - Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development Limitation Waiver Permit.
- Permit number \_\_\_\_\_ Approved by \_\_\_\_\_ Date \_\_\_\_\_

**REQUIRED CONSTRUCTION INSPECTIONS:**

It is the applicant's responsibility to contact DSG to schedule ALL inspections appropriate for the project. Request inspections online at [www.MyBuildingPermit.com](http://www.MyBuildingPermit.com) or by calling the Inspection Hotline at (206) 275-7730. Allow at least 24 hours (48 hours for Reinforcing steel) in advance of desired inspection. Be specific as to type of inspection.

Inspector shall initial and date appropriate inspection only if approved. Note: **Items marked with an "\*" require a separate permit.** It is the applicants responsibility to apply for and obtain all City of Mercer Island permits.

**INSPECTIONS:** (Date in order of material inspection)

_____	Date _____	<input type="checkbox"/> Pre-construction Meeting to Review Conditions of Permit Approval.	_____
_____	<input type="checkbox"/> Tree protection	_____	<input type="checkbox"/> Erosion control
_____	<input type="checkbox"/> Sewer disconnect and cap, if applicable, separate side-sewer permit required	_____	<input type="checkbox"/> Right-of-way use or work / easement, material delivery, etc. if applicable, separate ROW permit required
_____	<input type="checkbox"/> Land clearing, grading and demolition	_____	<input type="checkbox"/> Temporary power
_____	<input type="checkbox"/> Piling / Shoring / Shotcrete, if applicable, provide survey letter (property line); Geotechnical Engineer / Special Inspector reports of inspections (pile and shoring installation, etc.)	_____	<input type="checkbox"/> Footings, setbacks, UFER ground, if applicable, provide survey letter (building height and setbacks); Special Inspector reports of inspections (soil bearing capacity, compaction, earthwork, pile installation, etc.)
_____	<input type="checkbox"/> Foundation walls / concrete columns	_____	<input type="checkbox"/> Roof and footing drains
_____	<input type="checkbox"/> Foundation waterproofing	_____	<input type="checkbox"/> Storm drainage, including (but not limited to):
_____	<input type="checkbox"/> Connections to storm main in ROW	_____	<input type="checkbox"/> Area drains
_____	<input type="checkbox"/> Detention systems	_____	<input type="checkbox"/> Conveyance piping / cleanouts
_____	<input type="checkbox"/> Infiltration systems	_____	<input type="checkbox"/> Storm drain in ROW
_____	<input type="checkbox"/> Catch basins including oil-water separator, trees	_____	<input type="checkbox"/> Control structures / manholes
_____	<input type="checkbox"/> Water Service	_____	<input type="checkbox"/> Pump systems
_____	<input type="checkbox"/> Water Supply	_____	<input type="checkbox"/> Retaining wall drainage
_____	<input type="checkbox"/> Water as-built drawings	_____	<input type="checkbox"/> Back-flow valves
_____	<input type="checkbox"/> Side sewer installation, including (but not limited to):	_____	<input type="checkbox"/> Sewer manholes
_____	<input type="checkbox"/> Connections to side sewer main	_____	
_____	<input type="checkbox"/> Connections to existing side sewer	_____	
_____	<input type="checkbox"/> Driveway / Access road	_____	
_____	<input type="checkbox"/> Underslab electrical / mechanical / plumbing	_____	
_____	<input type="checkbox"/> Underslab insulation / vapor barrier / reinforcing	_____	
_____	<input type="checkbox"/> Underfloor framing	_____	
_____	<input type="checkbox"/> Nailing-Roof sheathing, if applicable, provide Special Inspection letter for lateral wood inspection.	_____	
_____	<input type="checkbox"/> Nailing-Exterior wall and Shearwall, if applicable, provide Special Inspection letter for lateral wood inspection.	_____	
_____	<input type="checkbox"/> Rough hydronic installation	_____	
_____	<input type="checkbox"/> Rough electric installation	_____	
_____	<input type="checkbox"/> Rough fire alarm (wiring inspection)	_____	
_____	<input type="checkbox"/> Rough plumbing installation (DWW, water)	_____	
_____	<input type="checkbox"/> Rough mechanical	_____	
_____	<input type="checkbox"/> Gas Piping	_____	
_____	<input type="checkbox"/> Rough fire sprinkler / hydrostatic and flow (bucket) test	_____	
_____	<input type="checkbox"/> Framing and glazing, if applicable, provide Special Inspection letter for lateral wood inspection, welding epoxy anchors, etc.	_____	
_____	<input type="checkbox"/> Masonry construction (fireplace / walls / veneer / etc.)	_____	
_____	<input type="checkbox"/> Insulation installation	_____	
_____	<input type="checkbox"/> Stucco (paper and lath)	_____	
_____	<input type="checkbox"/> Shower pan (or tub)	_____	
_____	<input type="checkbox"/> Miscellaneous	_____	
_____	<input type="checkbox"/> Code Alternative CA1:	_____	
_____	<input type="checkbox"/> Code Alternative CA2:	_____	
_____	<input type="checkbox"/> Impact Fees Paid (if applicable)	_____	
_____	<input type="checkbox"/> Final Inspection: Tree Restoration	_____	<input type="checkbox"/> IT
_____	<input type="checkbox"/> Final Inspections: Fire protection, including (but not limited to):	_____	<input type="checkbox"/> TF
_____	<input type="checkbox"/> Sprinkler	_____	<input type="checkbox"/> Fuel Tank Installation
_____	<input type="checkbox"/> Access Road	_____	<input type="checkbox"/> Fire Extinguishing System
_____	<input type="checkbox"/> Fire Code Alternatives (see below)	_____	<input type="checkbox"/> Fire Alarm System
_____	<input type="checkbox"/> FCA1:	_____	<input type="checkbox"/> FCA3:
_____	<input type="checkbox"/> FCA2:	_____	<input type="checkbox"/> FCA4:
_____	<input type="checkbox"/> Final Inspection: Water supply protection, including (but not limited to):	_____	<input type="checkbox"/> TW
_____	<input type="checkbox"/> backflow devices for:	_____	<input type="checkbox"/> Well water on property
_____	<input type="checkbox"/> Waterfront property	_____	<input type="checkbox"/> Boiler
_____	<input type="checkbox"/> Fire / lawn sprinkler	_____	
_____	<input type="checkbox"/> Final Inspection: Site and utility: includes landscape, utilities and ROW. Site restoration complete and as-built drawings ready for submittal.	_____	<input type="checkbox"/> TS
_____	<input type="checkbox"/> Final Inspection: Building, including electrical / mechanical / plumbing, if applicable, provide closeout (summary) letters from Engineer, Special Inspectors, Geotechnical Engineer, and exterior wall cladding inspections (EIFS).	_____	<input type="checkbox"/> TB

**90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO):**

Applicant option. Additional fees will be required and must be approved prior to occupancy. TCO requires tree plantings be completed.

Approved \_\_\_\_\_ Start Date \_\_\_\_\_ End Date \_\_\_\_\_

**ADDITIONAL REQUIRED CITY INSPECTIONS:**

Call the appropriate contact to arrange the inspection.

Required inspection(s): _____	Contact: _____	Phone: _____	Scheduling: _____
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**IMPACT FEES:** If applicable

- Impact fees apply and are due prior to Final Inspection or on \_\_\_\_\_, whichever occurs first.

**PLAN REVIEW APPROVALS:**

Not all review disciplines may be required to review the documents.

<input checked="" type="checkbox"/> GR Building	<input checked="" type="checkbox"/> LA Planning	<input type="checkbox"/> N/A Engineering	<input type="checkbox"/> N/A Tree	<input type="checkbox"/> N/A Fire
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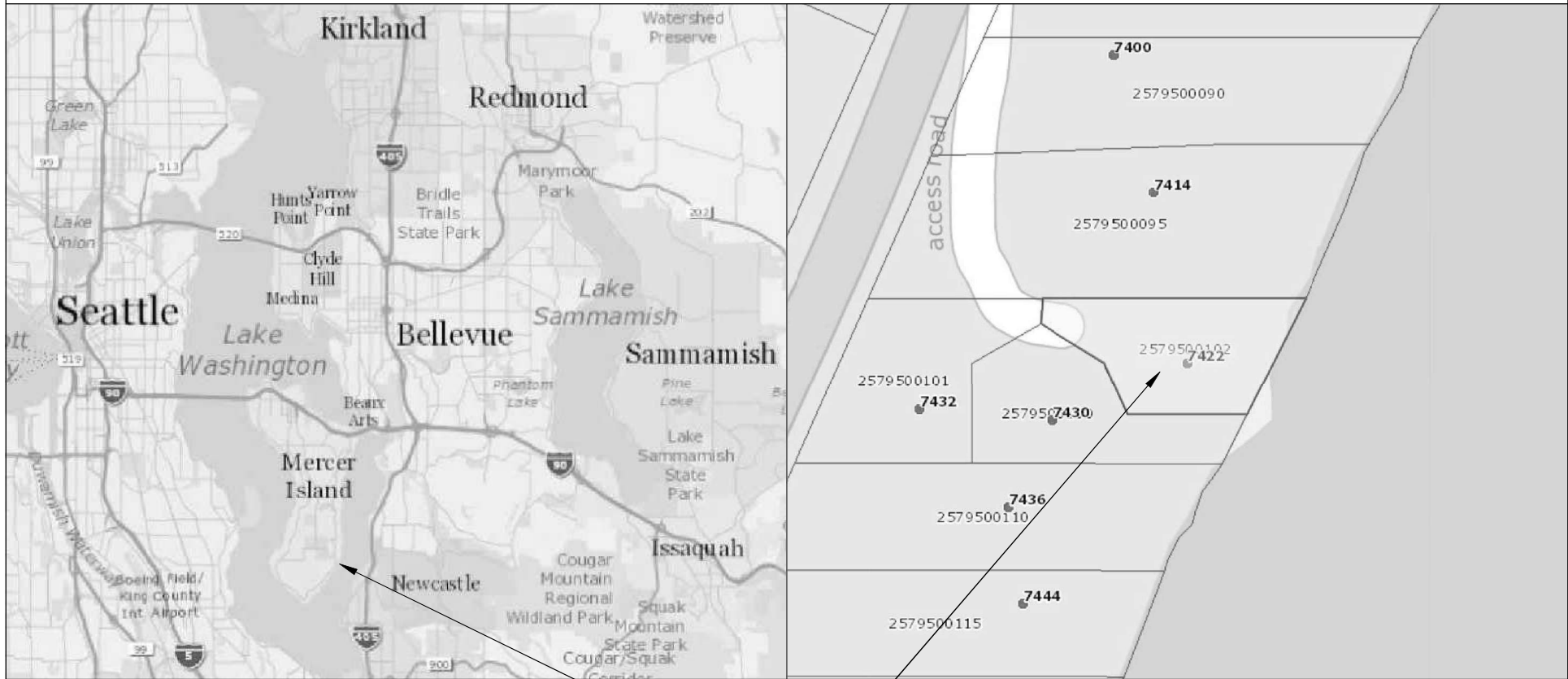
**CERTIFICATE OF OCCUPANCY**  
 Issued after all required inspections have been performed and approved.

**PROJECT NAME: XIANGPING RESIDENCE**  
**PROJECT ADDRESS: 7422 E. Mercer Way**

APPROVED DRAWINGS MUST BE KEPT ON THE BUILDING SITE AT ALL TIMES  
 REVIEWED FOR CODE COMPLIANCE  
 12/17/21  
 GR (signature)

PERMIT NUMBER  
**2104-111**

# SITE PLAN



Pin: 2579500102  
 Legal Description: FLOODS LAKE SIDE TRS LOT C TGW SH LDS ADJ MERCER ISLAND  
 SHORT PLAT NO 81-6-07 REC #8304079001 SD PLAT DAF - ALL LOT 14 & S 35 FT OF 13

Plat Block: 3  
 Plat Lot: 13-14  
 LAT: 47.53602      LONG: -122.21253      ZONE: R-8.4

**SUBJECT  
 PROPERTY**



Seaborn Pile Driving  
 1080 W Ewing St  
 Seattle, WA 98119  
 Office: 206-236-1700 ext. 3  
 www.seabornpiledriving.com

Scope of Work: We propose to repair walkway around boat house and repair damaged boat house to previous configuration. We are also removing existing 4x4 post supports under the dock and replacing with 8" steel piles.

**Owner:** Liu (Ren) Residence  
 7422 E Mercer Way  
 Mercer Island, WA 98040  
 County: King County  
 Location: Lake Washington  
 Created:

**Contractor:** Seaborn Pile Driving Company  
 1080 W Ewing St  
 Seattle, WA 98119

**Datum:** CORPS OF ENGINEERS 1919  
 SE QUARTER OF SECTION 30, TOWNSHIP 24, RANGE 05

**Adjacent Owners:**  
 FOACHE, JEROME LYNN C TUT  
 7430 E MERCER WAY 98040

**PREP:** JAMES DAVID MARGARET F  
 7414 E MERCER WAY 98040

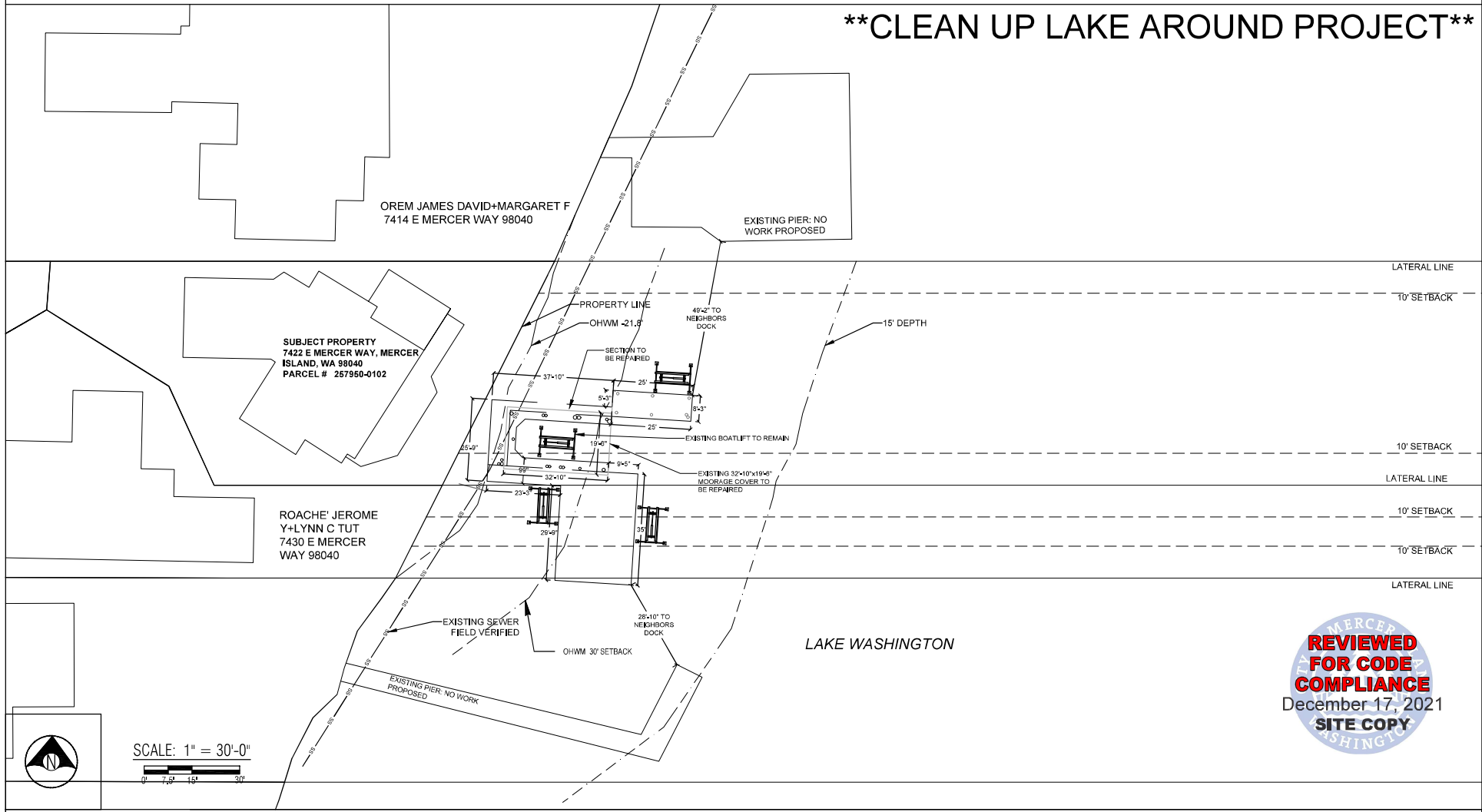
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**SHEET A1.0**

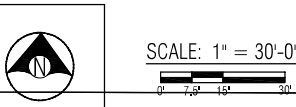
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 PAGE 1 OF 10

# EXISTING CONDITIONS

**\*\*CLEAN UP LAKE AROUND PROJECT\*\***



**Contractor:** Seaborn Pile Driving Company  
 1080 W Ewing St  
 Seattle, WA 98119  
**Owner:** Liu (Ren) Residence  
 7422 E Mercer Way  
 Mercer Island, WA 98040  
 King County  
 Lake Washington  
**Datum:** CORPS OF ENGINEERS 1919  
 SE QUARTER OF SECTION 30, TOWNSHIP 24, RANGE 05  
**Adjacent Owners:** OREM JAMES DAVID+MARGARET F  
 7414 E MERCER WAY 98040  
 ROACHE' JEROME Y+LYNN C TUT  
 7430 E MERCER WAY 98040  
**Created:** 10/20/2021 4:33 PM Kelse

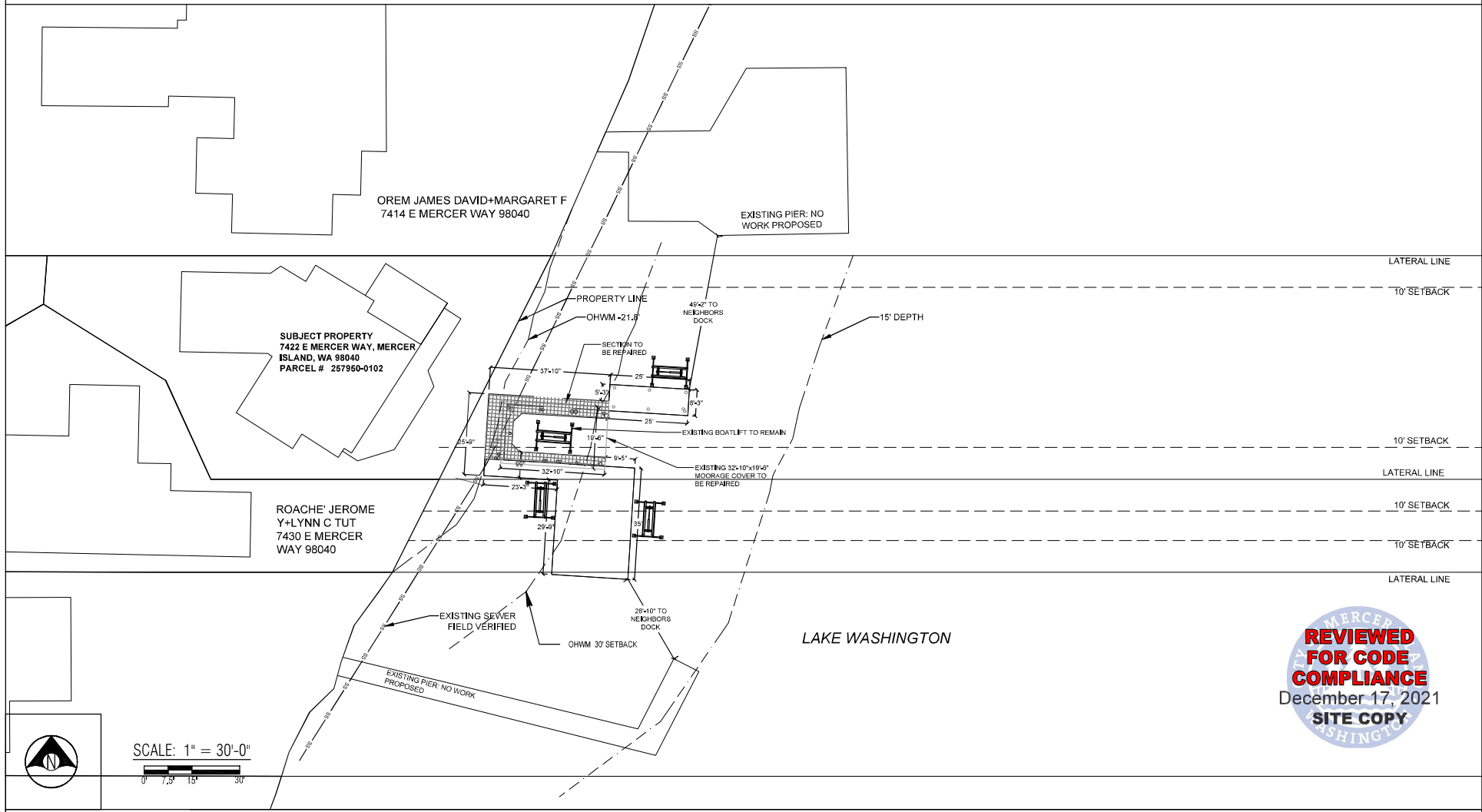


Seaborn Pile Driving  
 1080 W Ewing St  
 Seattle, WA 98119  
 Office: 206-236-1700 ext. 3  
[www.seabornpiledriving.com](http://www.seabornpiledriving.com)

**Scope of Work:** We propose to repair walkway around boat house and repair damaged boat house to previous configuration. We are also removing existing 4x4 post supports under the dock and replacing with 8" steel piles.

**SHEET A2.0**  
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# PROPOSED CONDITIONS



Seaborn Pile Driving  
 1080 W Ewing St  
 Seattle, WA 98119  
 Office: 206-236-1700 ext. 3  
 www.seabornpiledriving.com

Scope of Work: We propose to repair walkway around boat house and repair damaged boat house to previous configuration. We are also removing existing 4x4 post supports under the dock and replacing with 8" steel piles.

Contractor: Seaborn Pile Driving Company 1080 W Ewing St Seattle, WA 98119	Owner: Liu (Ren) Residence 7422 E Mercer Way Mercer Island, WA 98040 King County Lake Washington	Datum: CORPS OF ENGINEERS 1919 SE QUARTER OF SECTION 30, TOWNSHIP 24, RANGE 05	<b>SHEET A3.0</b> <small>NWS-2021-XXX PAGE 3 OF 10</small>
Last Updated: 10/20/2021 4:33 PM Kelse	Created: Orem James David+Margaret F 7414 E Mercer Way 98040	Adjacent Owners: Roache' Jerome Y+Lynn C Tut 7430 E Mercer Way 98040	

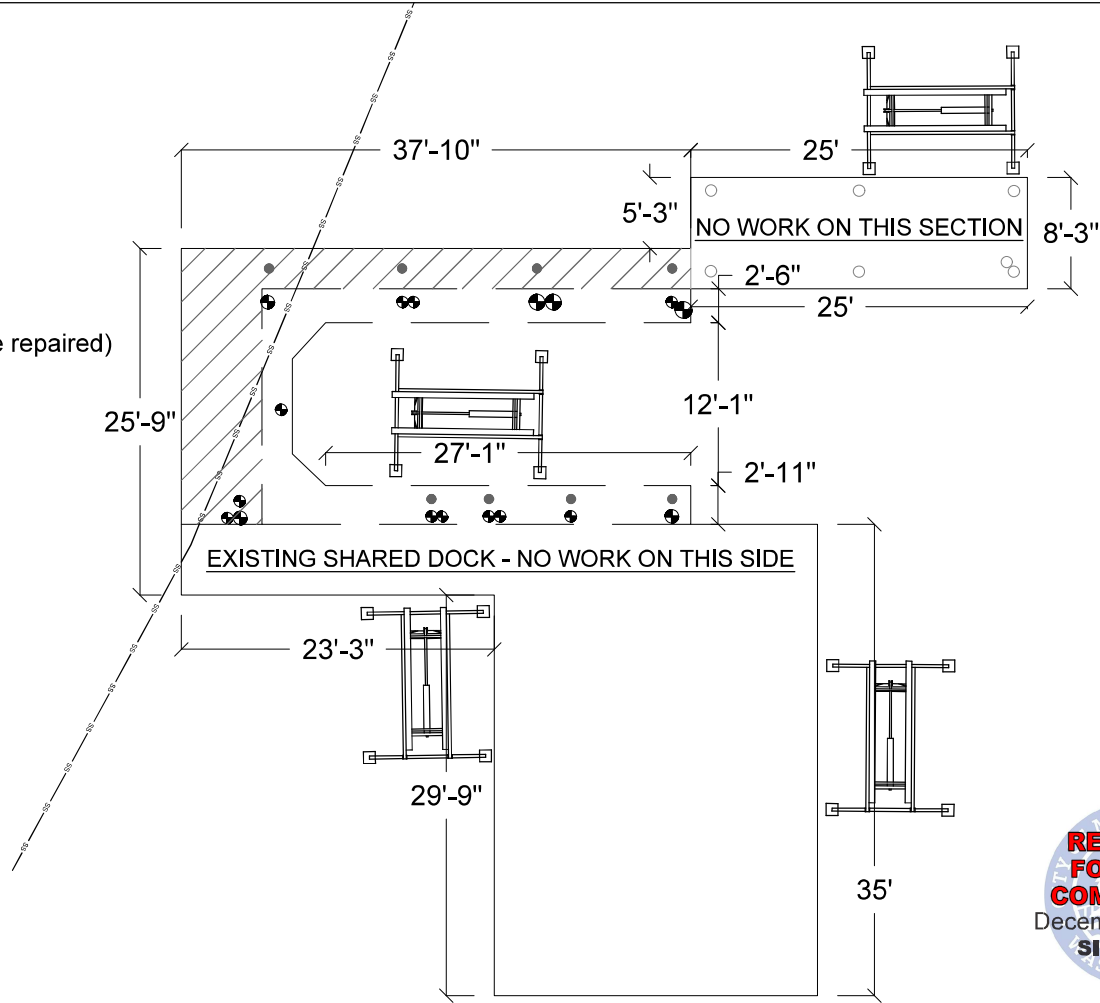
# PIER DETAILS - EXISTING/PROPOSED

## LEGEND

- ⊕ (17) EXISTING PILES - TO BE REPAIRED
- (8) NEW 8" STEEL PILES - TO BE INSTALLED
- (7) EXISTING PILES - NO WORK TO BE DONE

Area: 1,387 sqft (total shared dock)  
 Area: 630 sqft (property owners side of dock)  
 Area: 424 sqft (walkway w/thruflow grated decking to be repaired)

\*\*Grated decking material is 43% light permeable



PLAN VIEW



Seaborn Pile Driving  
 1080 W Ewing St  
 Seattle, WA 98119

Office: 206-236-1700 ext. 3  
[www.seabornpiledriving.com](http://www.seabornpiledriving.com)

Scope of Work: We propose to repair walkway around boat house and repair damaged boat house to previous configuration. We are also removing existing 4x4 post supports under the dock and replacing with 8" steel piles.

Contractor: Seaborn Pile Driving Company  
 1080 W Ewing St  
 Seattle, WA 98119

Owner: Liu (Ren) Residence  
 7422 E Mercer Way  
 Mercer Island, WA 98040  
 County: King County  
 Location: Lake Washington

Datum: CORPS OF ENGINEERS 1919  
 SE QUARTER OF SECTION 30, TOWNSHIP 24, RANGE 05

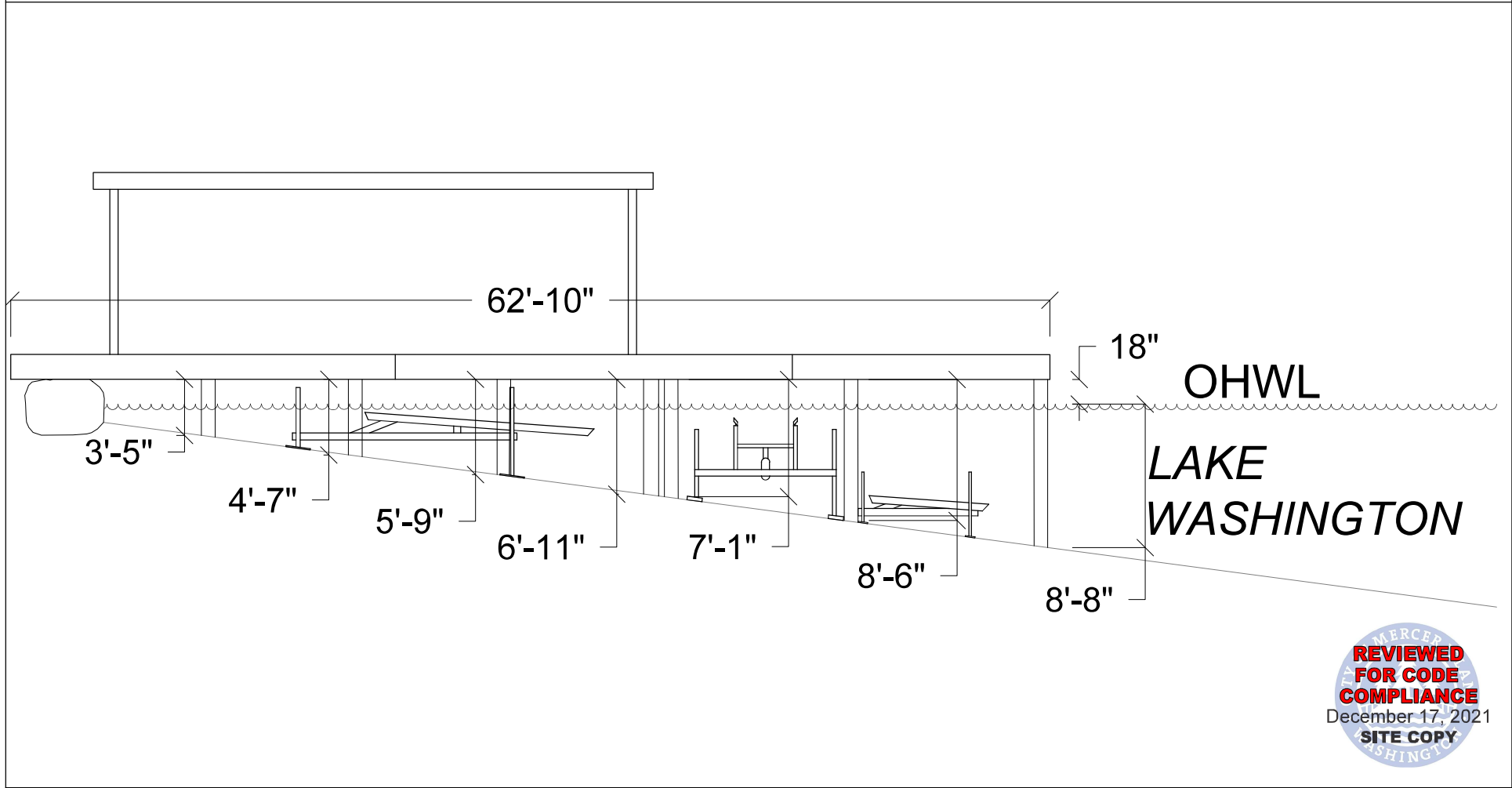
Adjacent Owners:  
 FOACHE: JEROME LYNN C TUT  
 7430 E MERCER WAY 98040  
 OREM: JAMES DAVID MARGARET F  
 7414 E MERCER WAY 98040

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**SHEET  
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# PIER DETAILS EXISTING/PROPOSED



SECTION VIEW: A'-A'



Seaborn Pile Driving  
 1080 W Ewing St  
 Seattle, WA 98119  
 Office: 206-236-1700 ext. 3  
 www.seabornpiledriving.com

Scope of Work: We propose to repair walkway around boat house and repair damaged boat house to previous configuration. We are also removing existing 4x4 post supports under the dock and replacing with 8" steel piles.

Contractor: Seaborn Pile Driving Company  
 1080 W Ewing St  
 Seattle, WA 98119

Owner: Liu (Ren) Residence  
 7422 E Mercer Way  
 Mercer Island, WA 98040

County: King County  
 Location: Lake Washington

Datum: CORPS OF ENGINEERS 1919  
 SE QUARTER OF SECTION 30, TOWNSHIP 24, RANGE 05

Adjacent Owners:  
 FOACHE: JEROME YLYNN C TUT  
 7430 E MERCER WAY 98040

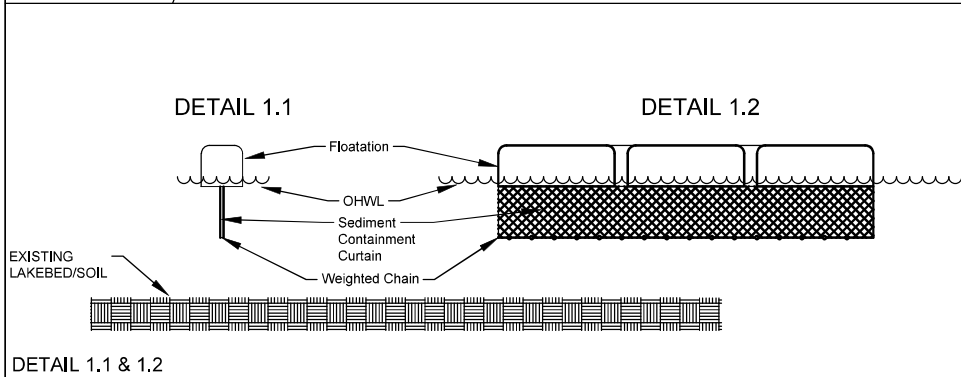
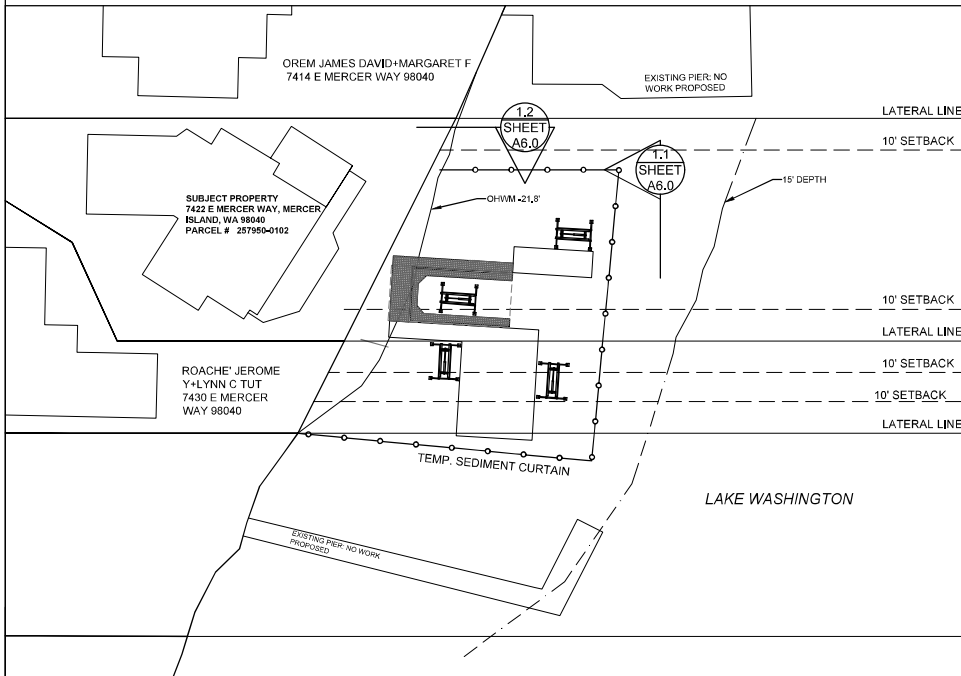
CREATED BY: MARGARET F  
 7414 E MERCER WAY 98040

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# BMP INFORMATION



## BMP NOTES:

- A. Constant vigilance shall be kept for the presence of protected fish species during all aspects of the proposed action, particularly during in-water activities such as vessel movement, deployment of anchors & spuds, pile driving, dredging, and placement of gravels and other fill.
- The project manager shall designate an appropriate number of competent observers to survey the project site and adjacent areas for protected species, including the presence of fish as conditions allow.
  - Visual surveys shall be made prior to the start of work each day, and prior to resumption of work following any break of more than an hour. Periodic additional visual surveys throughout the work day are strongly recommended.
  - All in-water work shall be done during the in-water work window for the waterbody. Where there is a difference between the USCOE and WDFW work windows, the overlap of the two shall apply.
  - All pile driving and extraction shall be postponed or halted when obvious aggregations or schooling of fish are observed within 50 yards of that work, and shall only begin/resume after the animals have voluntarily departed the area.
  - When piloting vessels, vessel operators shall operate at speeds and power settings to avoid grounding vessels, and minimize substrate scour and mobilization of bottom sediments.
- B. No contamination of the marine environment shall result from project-related activities.
- Appropriate materials to contain and clean potential spills shall be stored and readily available at the work site and/or aboard project-related vessels.
  - The project manager and heavy equipment operators shall perform daily pre-work equipment inspections for cleanliness and leaks. All heavy equipment operations shall be postponed or halted should a leak be detected, and shall not proceed until the leak is repaired and the equipment is cleaned.
  - To the greatest extent practicable, utilize biodegradable oils for equipment that would be operated in or near water.
  - Fueling of land-based vehicles and equipment shall take place at least 50 feet away from the water, preferably over an impervious surface. Fueling of vessels shall be done at approved fueling facilities.
  - Turbidity and siltation from project-related work shall be minimized and contained through the appropriate use of erosion control practices, effective silt containment devices, and the curtailment of work during adverse weather and tidal/flow conditions.
  - All wastes shall be collected and contained for proper disposal at approved upland disposal sites appropriate for the material(s).
  - When removing piles and other similarly treated wood, containment booms must fully enclose the work area. Wood debris, oils, and any other materials released into lake waters must be collected, removed, and properly disposed of at approved disposal sites.
  - All in- and over-water wood cutting should be limited to the minimum required to remove the subject wood component, and all cutting work should be enclosed within floating containment booms.
  - When removing piles, no actions shall be taken that would cause adhering sediments to return to lake waters.
  - Above-water containment shall be installed around removed piles to prevent sediment laden waters from returning to lake waters.
  - Construction staging (including stocking of materials, etc.) will occur on the supply barge.
  - All Exposed wood to be used on the project will be treated with a cheminute treatment.



Seaborn Pile Driving  
1080 W Ewing St  
Seattle, WA 98119  
Office: 206-236-1700 ext. 3  
www.seabornpiledriving.com

Scope of Work: We propose to repair walkway around boat house and repair damaged boat house to previous configuration. We are also removing existing 4x4 post supports under the dock and replacing with 8" steel piles.

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1080 W Ewing St  
Seattle, WA 98119

Owner: Liu (Ren) Residence  
7422 E Mercer Way  
Mercer Island, WA 98040  
County: King County  
Location: Lake Washington

Datum: CORPS OF ENGINEERS 1919  
SE QUARTER OF SECTION 30, TOWNSHIP 24, RANGE 05  
Adjacent Owners: OREM JAMES DAVID+MARGARET F  
7414 E MERCER WAY 98040  
ROACHE' JEROME Y4LYNN C TUT  
7430 E MERCER WAY 98040

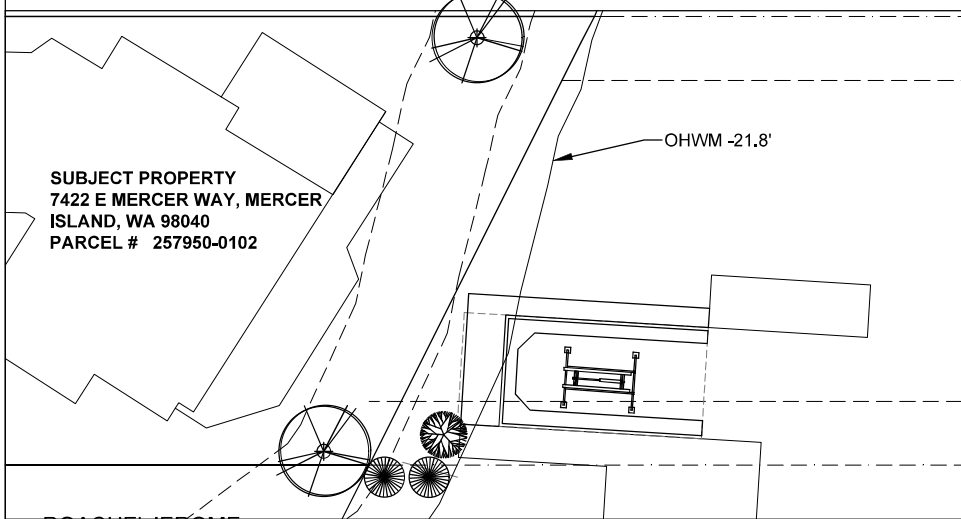
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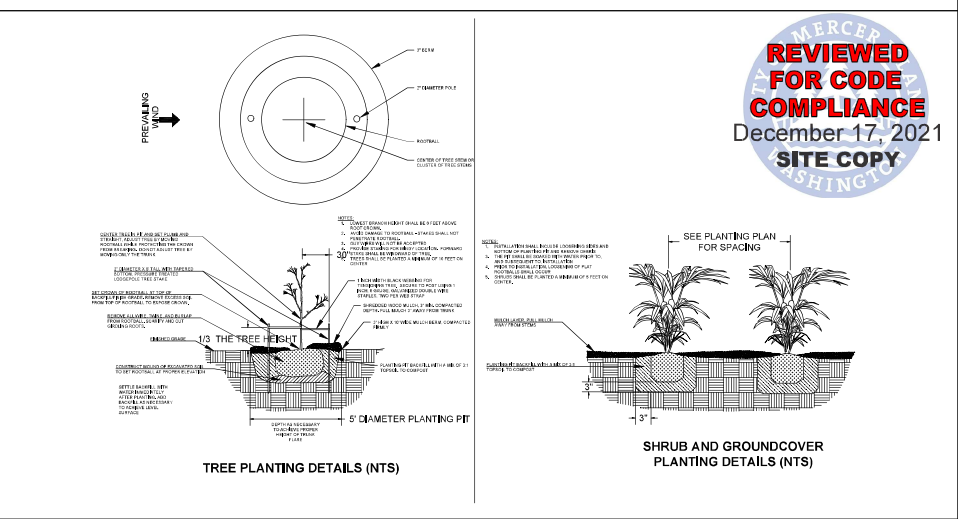
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# MITIGATION PLAN



- Notes:**
1. Shrubs are show, and shall be planted, at least five feet on center. Trees are show, and shall be planted, at least ten feet to center.
  2. The property owner will implement and abide by the shoreline planting plan. The plants shall be installed before or concurrent with the work authorized by this permit. A report, as-built drawing and photographs demonstrating the plants have been installed or a report on the status of project construction will be submitted to the U.S. Army Corps of Engineers, Seattle District, Regulatory Branch, within 12 months from the date of permit issuance. This reporting requirement may be met by completing and submitting a U.S. Army Corps of Engineers approved Report for Mitigation Work Completion form.
  3. The property owner will maintain and monitor the survival of installed shoreline plantings for five years after the U.S. Army Corps of Engineers accepts the as-built report. Installed plants shall achieve 100% survival during monitoring Years 1 and 2. Installed plants shall achieve at least 80% survival during monitoring Years 3, 4 and 5. Percent survival is based on the total number of plants installed in accordance with the approved riparian planting plan. Individual plants that die will be replaced with native riparian species in order to meet the survival performance standards.
  4. The property owner will provide annual monitoring reports for five years (Monitoring Years 1-5). Each annual monitoring report will include written and photographic documentation on plant mortality and replanting efforts and will document whether the performance standards are being met. Photos will be taken from established points and used repeatedly for each monitoring year. In addition to photos at designated points, photo documentation will include a panoramic view of the entire planting area. Submitted photos will be formatted on standard 8 1/2 x 11" paper, dated with the date the photo was taken, and clearly labeled with the direction from which the photo was taken. The photo location points will be identified on an appropriate drawing. Annual shoreline planting monitoring reports will be submitted to the U.S. Army Corps of Engineers, Seattle District, Regulatory Branch, by November 31 of each monitoring year. This reporting requirement may be met by completing and submitting a U.S. Army Corps of Engineers approved Mitigation Planting Monitoring Report form.



PROPOSED PLANTING SPECIES/QUANTITIES				
SYMBOL	LATIN NAME	COMMON NAME	QTY	SIZE
	<i>Thuja picatta</i>	Western Redcedar	1	3 ft
	<i>Pinus contorta v contorta</i>	Shore pine	1	3 ft
	<i>Rosa nutkana</i>	Nootka Rose	1	1 Gallon
	<i>Philadelphus lewisii</i>	Mock Orange	2	1 Gallon

PLANTS: Shrubs to be installed 5ft on center and trees to be installed 10ft on center.

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Datum: CORPS OF ENGINEERS 1919  
SE QUARTER OF SECTION 30, TOWNSHIP 24, RANGE 05

Adjacent Owners:  
FOXACHE JEROME V LYNN C TUT  
7430 E MERCER WAY 98040

**SHEET**  
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PAGE 7 OF 10

Contractor: Seaborn Pile Driving Company  
1080 W Ewing St  
Seattle, WA 98119  
 Last Updated: 10/20/2021 4:33 PM Kelse  
 Owner: Liu (Ren) Residence  
7422 E Mercer Way  
Mercer Island, WA 98040  
King County  
Lake Washington  
 Created: OREM JAMES DAVID-MARGARET F  
7414 E MERCER WAY 98040

# EXISTING PLANT PLAN

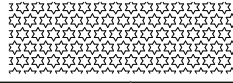


OREM JAMES DAVID+MARGARET F  
7414 E MERCER WAY 98040

**SUBJECT PROPERTY**  
7422 E MERCER WAY, MERCER  
ISLAND, WA 98040  
PARCEL # 257950-0102

ROACHE' JEROME  
Y+LYNN C TUT  
7430 E MERCER  
WAY 98040

OHWM

## EXISTING PLANTING SPECIES/QUANTITIES

SYMBOL	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
	Hedera helix	English Ivy	n/a	LRG
	Hydrangea macrophylla	Bigleaf hydrangea	2	~2ft
	Zoysia japonica	Grass	N/A	most of shoreline
	Pinus mugo	Mugo Pine	1	~3ft

PLAN VIEW

EXISTING PLANTS TABLE



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7430 E MERCER WAY 98040

Last Updated: 10/20/2021 4:33 PM Kelbe

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PAGE 8 OF 10

# GENERAL NOTES:

**MATERIALS SPEC LIST:**

**Boat Lifts:**

- \* SL8012ARW - 146" x 167"
- \* New canopy covers will be constructed with translucent material

**Decking Material:** FRPP - Fiberglass reinforced polypropylene

Light permeable percentage:

- \* Surface - 43%
- \* 18" Dock Height - 61%

**PILES:**

- \* All new piles are epoxy coated steel piles \*size varies, see plan set
- \* Existing 4x4 posts are non-treated wood

**SEWER:**

- \* All sewer is field verified by probing the lake bed manually during the allowed work windows for the area.

**CODE REFERENCES: Mercer Island**

**We are applying for the permit to be reviewed under the:**

"Development Standards for Replacement, Repair and Maintenance of Overwater Structures, Including Moorage Facilities" per MIMC 19.13050(F)(2).

Mitigation" Disturbance of bank vegetation shall be limited to the minimum amount necessary to accomplish the project. Disturbed bank vegetation shall be replaced with native, locally adapted herbaceous and/or woody vegetation. Herbaceous plantings shall occur within 48 hours of the completion of construction. Woody vegetation components shall be planted in the fall or early winter, whichever occurs first. The applicant shall take appropriate measures to ensure revegetation success;

Last permit issued for property: 9/2016

Dock established/constructed: Prior to 2007 per King County Tax Assessor site



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 Created:

Last Updated: 10/20/2021 4:33 PM Kebe



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NWS-2021-XXX  
PAGE 9 OF 10

Plotset: Nov 29, 2021 - 4:22pm, tdsds Layout: LIU\_1\_S1.1 - STRUCTURAL NOTES  
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## GENERAL

- ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS.
- CONTRACTOR SHALL VERIFY ALL LEVELS, DIMENSIONS, AND EXISTING CONDITIONS IN THE FIELD BEFORE PROCEEDING. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR FIELD CHANGES PRIOR TO INSTALLATION OR FABRICATION. IN CASE OF DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE DRAWINGS, THE CONTRACTOR SHALL OBTAIN DIRECTION FROM THE ENGINEER BEFORE PROCEEDING. DIMENSIONS NOTED AS PLUS OR MINUS ( $\pm$ ) OR REF INDICATE UNVERIFIED DIMENSIONS AND ARE APPROXIMATE. NOTIFY ENGINEER IMMEDIATELY OF CONFLICTS OR EXCESSIVE VARIATIONS FROM INDICATED DIMENSIONS, NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS - DO NOT SCALE DRAWINGS. DIMENSIONS OF EXISTING CONDITIONS ARE BASED ON RECORD DRAWINGS AND ARE TO BE FIELD-VERIFIED BY THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS AND EXISTING MEMBERS, AS REQUIRED, AND IN A MANNER SUITABLE TO WORK SEQUENCE. TEMPORARY SHORING AND BRACING SHALL NOT BE REMOVED UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE DRAWINGS AND MATERIALS HAVE ACHIEVED DESIGN STRENGTH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED TO PERFORM THE WORK.
- ALL MATERIALS SHALL BE NEW, UNO.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE DRAWINGS, NOTES, AND MANUFACTURER RECOMMENDATIONS. IF THERE ARE ANY CONFLICTS BETWEEN THESE DOCUMENTS, THE ENGINEER SHALL BE CONTACTED FOR DIRECTION.
- THE CONTRACTOR SHALL CAREFULLY DECONSTRUCT EXISTING ELEMENTS AS NECESSARY TO ACCESS THE WORK AREAS. SUCH DECONSTRUCTION MAY INCLUDE INTERIOR AND EXTERIOR FINISHES. ALL DECONSTRUCTION ELEMENTS SHALL BE RECONSTRUCTED TO MATCH THE ORIGINAL APPEARANCE AND MEET THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE.
- ALL BOAT COVERS AND LIFTS SHALL BE PREEXISTING AND SHALL NOT BE ATTACHED TO THE DOCK, UNLESS NOTED OTHERWISE.

## CODES AND STANDARDS

- ALL METHODS AND MATERIALS SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE, 2018 EDITION.
- AMERICAN SOCIETY OF CIVIL ENGINEERS STANDARD 7-16 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
- WOOD WORK SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION (NDS) 2018 EDITION.
- AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM), CURRENT EDITION

## DESIGN CRITERIA

WIND DESIGN:	WIND LOAD IS BASED ON ASCE CHAPTER 29 WITH THE FOLLOWING FACTORS	
	EXPOSURE CATEGORY = D $V_{5s} = 98\text{MPH}$	RISK CATEGORY = II WIND IMPORTANCE FACTOR, $I_w = 1.0$
WAVE LOADS:	P = 491 LBS	
LIVE LOADS:	LIVE LOAD = 40 PSF SNOW LOAD = 25 PSF	
SEISMIC LOADS:	BOAT HOUSE R = 1.25 DOCK PILING R = 2.0 SEISMIC IMPORTANCE - 1.0 SD1 = 0.602g	

## STRUCTURAL STEEL

- ALL MISCELLANEOUS STEEL SHAPES AND PLATES, EXCEPT AS NOTED BELOW, SHALL CONFORM TO ASTM 36.
- ALL WF SHAPES SHALL CONFORM TO ASTM A992,  $F_y = 50\text{ KSI}$
- ALL PILES SHALL CONFORM TO ASTM A252 GRADE 3,  $F_y = 45\text{ KSI}$
- ALL BOLTS SHALL BE ASTM A307, UNO.
- ALL NUTS SHALL BE ASTM A563, UNO.
- ALL WASHERS SHALL BE ASTM F436, UNO.
- ALL THREADED RODS SHALL CONFORM TO ASTM F155, GRADE 36.
- ALL STEEL MEMBERS AND FASTENERS THAT ARE NOT COATED SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A153 AS APPLICABLE.

## WELDING

- ALL WELDING SHALL PERFORMED BY WELDERS QUALIFIED FOR THE WELD AND POSITION SHOWN IN ACCORDANCE WITH AWS AND HAVING CURRENT CERTIFICATION FROM WABO.
- ALL WELDS SHALL BE PERFORMED WITH PROCEDURES PREQUALIFIED OR QUALIFIED IN ACCORDANCE WITH AWS D1.1.
- THE WELDS SHOWN ARE FOR THE FINAL CONNECTIONS. FIELD WELD SYMBOLS ARE SHOWN WHERE FIELD WELDS ARE REQUIRED BY THE STRUCTURAL DESIGN. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF A WELD SHOULD BE SHOP OR FIELD WELDED IN ORDER TO FACILITATE THE STRUCTURAL STEEL ERECTION.
- WELDING ELECTRODES SHALL BE 70 KSI STRENGTH AND SHALL BE "LOW-HYDROGEN ELECTRODES."

## WOOD

- EACH PIECE OF LUMBER SHALL BEAR A STAMP INDICATING A GRADE MARK OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLIB), WESTERN WOOD PRODUCTS ASSOCIATION (WWPA), OR OTHER AGENCY ACCREDITED BY THE AMERICAN STANDARD COMMITTEE (ALSC).
- DIMENSION LUMBER SHALL BE P.T. DOUG-FIR NO 2 OR BETTER.
- STRUCTURAL GLUED LAMINATED TIMBER SHALL BE ALASKAN CEDAR AC.AC 20F-V12.
- WOOD SHALL BE SEASONED DRY WITH A MAXIMUM MOISTURE CONTENT OF 19%.
- PRESERVATIVE TREATED WOOD SHALL CONFORM TO THE AMERICAN WOOD PROTECTION ASSOCIATION (AWPA) UCA. ALL WOOD SHALL BEAR A TREATMENT IDENTIFICATION MARK BY THE CERTIFYING AGENCY.
- ALL BOLT HOLES IN WOOD MEMBERS SHALL BE A MINIMUM OF 1/32" TO MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER. PROVIDE PLATE WASHERS WHERE NUTS BEAR ON WOOD. CUT WASHERS SHALL MEASURE 2 1/4"  $\phi$  x 3/16" THICK.

## GRATING

- GRATING SHALL BE SUNWALK 90 SERIES OR APPROVED EQUAL.

## SPECIAL INSPECTION

- ALL FULL PENETRATION WELDS SHALL BE UT TESTED BY A CERTIFIED TESTING AGENCY.

## ABBREVIATIONS

Ø	AMERICAN WELDING SOCIETY
AWS	BLOCKING
BLKG	CENTER LINE
CL	CLEAR
CLR	COLUMN
COL	CONTINUOUS
CONT.	DOUG FIR
DF	DEPTH
DP	EACH
EA	EXISTING
EX OR (E)	GENERAL CONTRACTOR
G.C.	GLULAM BEAM
GLB	LONG LEG HORIZONTAL
LLH	MINIMUM
MIN	MANUFACTURER
MNFR	NEW
(N)	ON CENTER
OC	PLATE
PL	POUNDS PER SQUARE INCH
PSI	POUNDS PER SQUARE FOOT
PSF	PRESERVATIVE TREATED
P.T.	SQUARE FOOT
SF	REFERENCE
REF	STAINLESS STEEL
SS	STANDARD
STD	THICK
T	TYPICAL
TYP	UNLESS NOTED OTHERWISE
UNO	ULTRASONIC TESTING
UT	VERIFY IN FIELD
VF	WASHINGTON ASSOCIATION OF BUILDING OFFICIALS
WABO	WIDE FLANGE
WF	WITH
W/	



### BUILDING APPROVAL NOTE

STRUCTURAL OBSERVATION FOR THIS DOCK FRAMING IS REQUIRED BY IBC 1704.6.1 (4). NO STATEMENT OF STRUCTURAL OBSERVATION IS REQUIRED PRIOR TO COMMENCING. A STRUCTURAL OBSERVATION REPORT WHICH OBSERVES THE FRAMING PRIOR TO THE INSTALLATION OF DECKING, EITHER DIRECTLY BY SITE VISIT OR VIA REVIEW OF PHOTOGRAPHS AT THE ENGINEER'S OPTION, SHOULD BE AVAILABLE PRIOR TO CALLING FOR FRAMING INSPECTION. PLEASE PROVIDE THE ENGINEER WITH ALL SPECIAL INSPECTIONS PERFORMED TO REFERENCE IN HIS OR HER OBSERVATION REPORT

**kpff**

2407 North 31st Street, Suite 300  
 Tacoma, Washington 98407  
 (253) 396-0150 Fax (253) 396-0162



NO.	DATE	BY	REVISION

**LIU RESIDENCE DOCK**  
 7422 E MERCER WAY MERCER ISLAND, WA 98040

STRUCTURAL NOTES

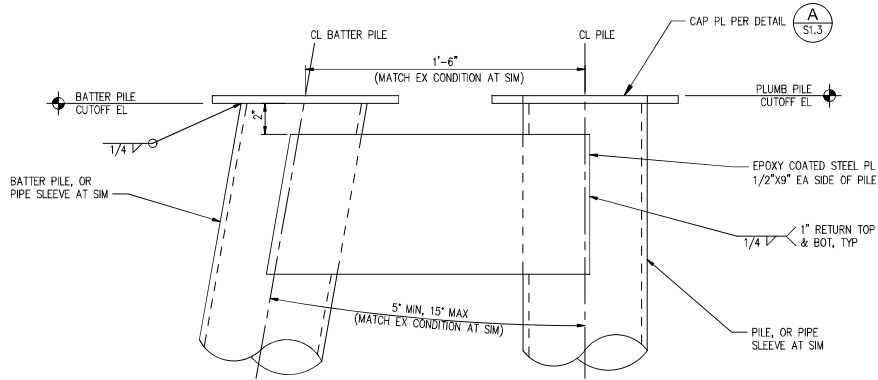
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SHEET NO.	<b>01</b> OF <b>06</b>

FOR PERMIT



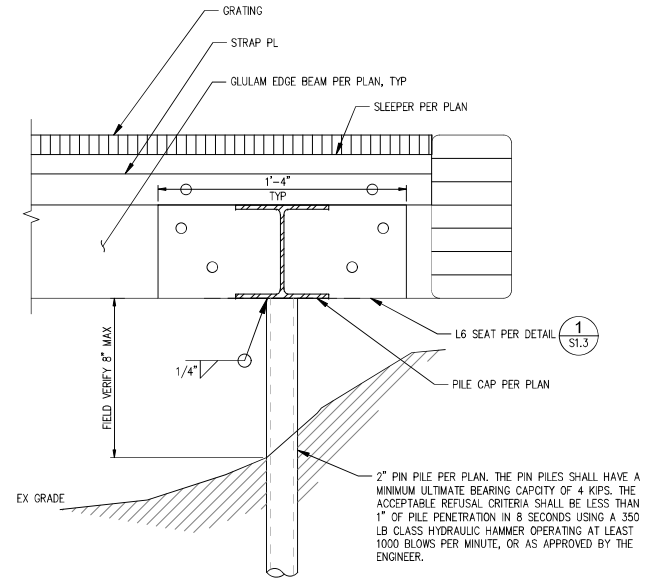


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- NOTES
1. PILE CAP NOT SHOWN FOR CLARITY.
  2. SIM CONDITION OCCURS AT EX PILES

**A SECTION**  
 S1.2 SCALE: 3" = 1'-0"



**B SECTION**  
 S1.2 SCALE: 3" = 1'-0"



**kpff**

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NO.	DATE	BY	REVISION

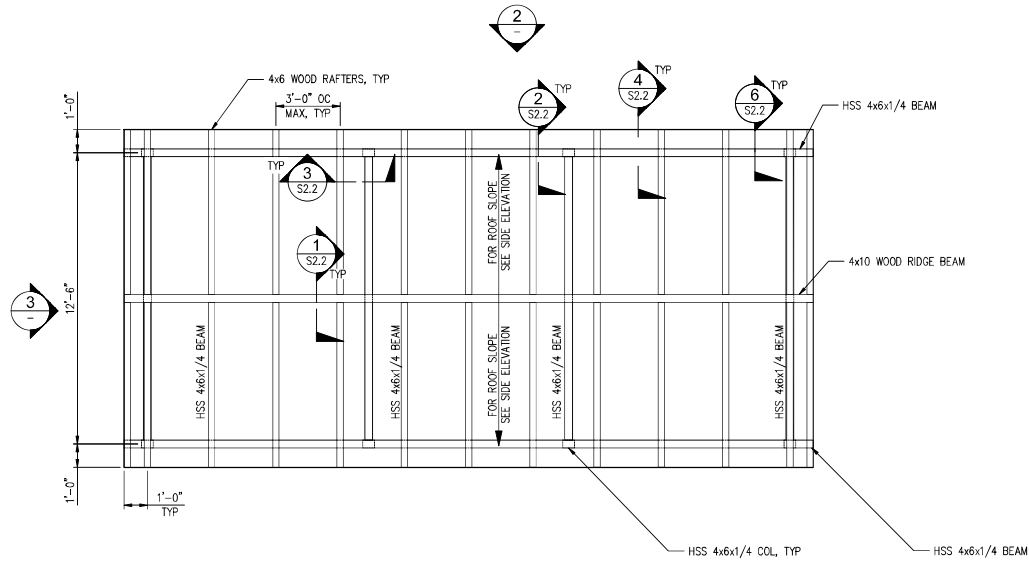
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 7422 E MERCER WAY MERCER ISLAND, WA 98040

**SECTIONS AND DETAILS (SHEET 2)**

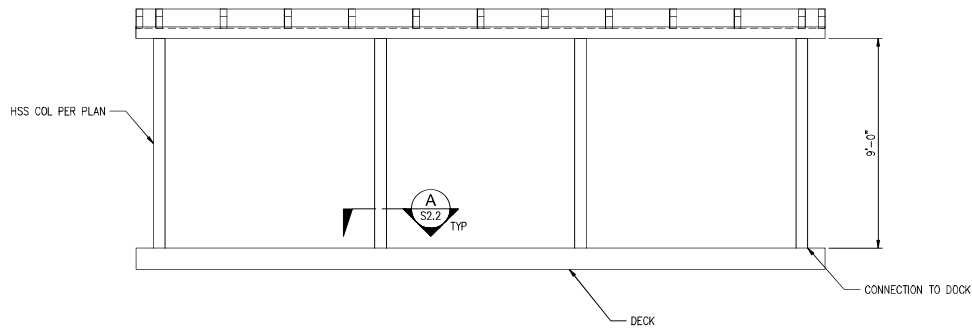
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SHEET NO.	<b>04 OF 06</b>

FOR PERMIT

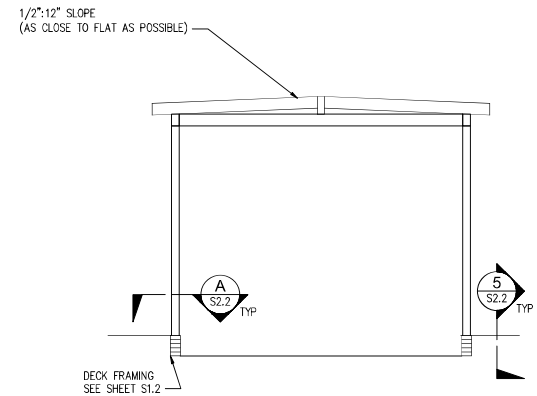
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**1 MOORAGE COVER FRAMING PLAN**  
 SCALE: 3/8" = 1'-0"



**2 MOORAGE COVER ELEVATION**  
 SCALE: 3/8" = 1'-0"



**3 MOORAGE COVER SIDE ELEVATION**  
 SCALE: 3/8" = 1'-0"



**kpff**

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 Tacoma, Washington 98407  
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NO.	DATE	BY	REVISION

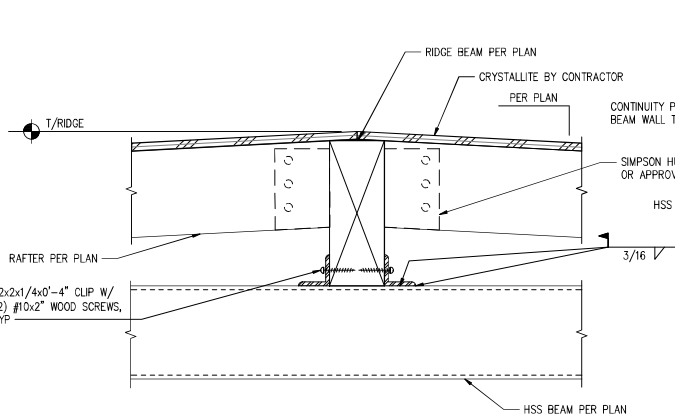
**LIU RESIDENCE DOCK**  
 7422 E MERCER WAY MERCER ISLAND, WA 98040

**MOORAGE COVER FRAMING PLAN**

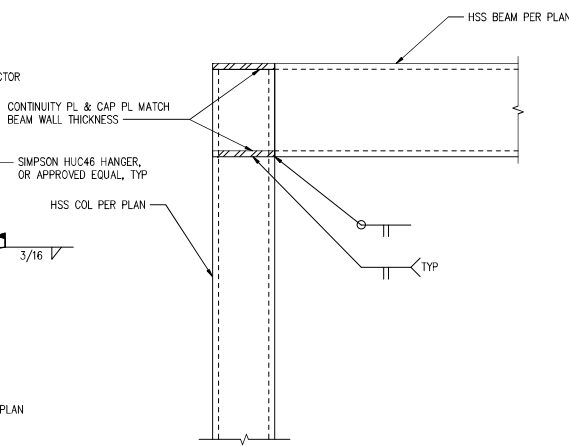
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SHEET NO.	<b>05 OF 06</b>

FOR PERMIT

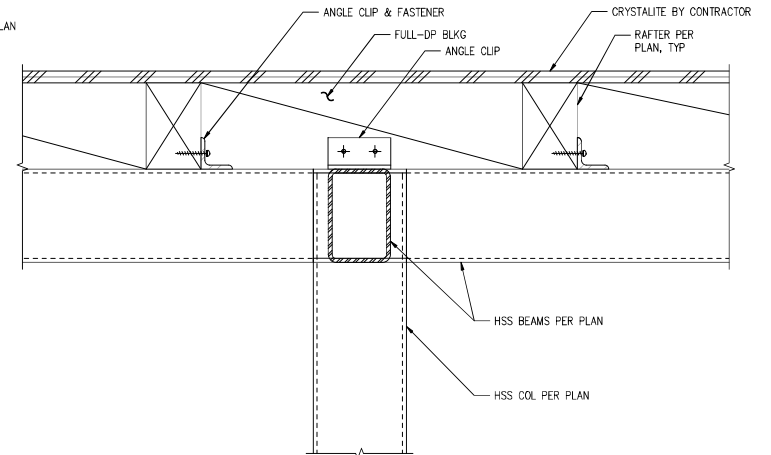
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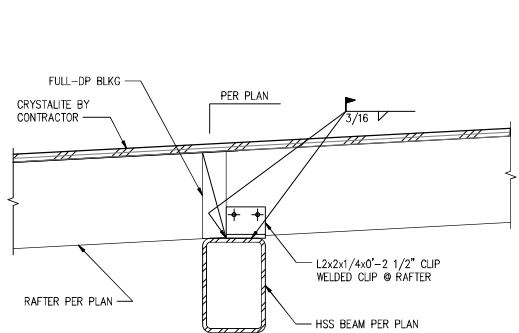
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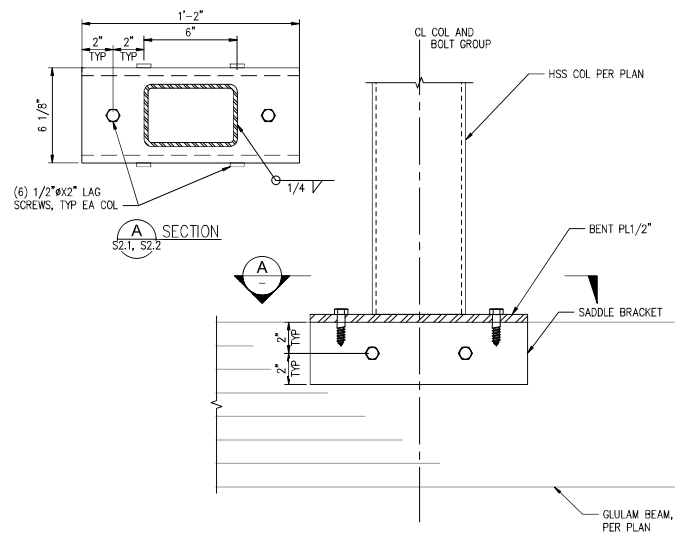
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 S2.1 SCALE: 3" = 1'-0"



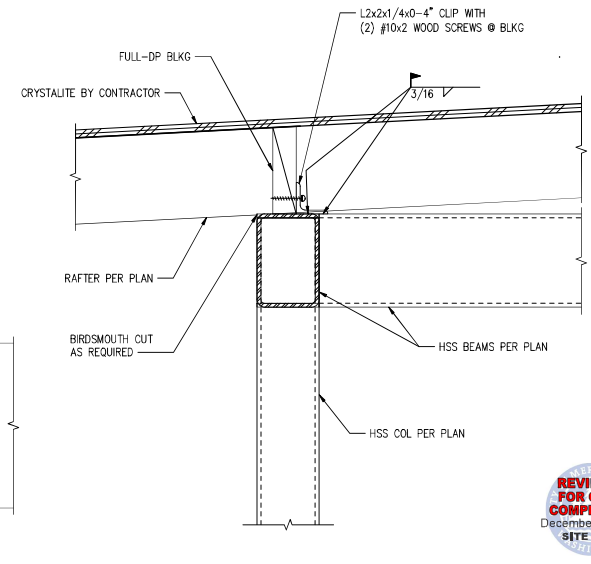
**3 RAFTERS AT BEAM-TO-COLUMN**  
 S2.1 SCALE: 3" = 1'-0"



**4 TYPICAL RAFTER-TO-BEAM CONNECTION**  
 S2.1 SCALE: 3" = 1'-0"



**5 HSS COLUMN TO EXIST DOCK GLB**  
 S2.1 SCALE: 3" = 1'-0"



**6 TYPICAL ROOF RAFTER AT BEAM**  
 S2.1 SCALE: 3" = 1'-0"



**kpf**

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NO.	DATE	BY	REVISION

**LIU RESIDENCE DOCK**  
 7422 E MERCER WAY MERCER ISLAND, WA 98040

**MOORAGE COVER DETAILS**

DRAWN: GM PROJECT NO.: 2100134  
 DESIGN: TAD SCALE: AS SHOWN  
 CHECKED: AMB DATE: 10/19/2021  
 DRAWING NO. **S2.2**  
 SHEET NO. **06** OF **06**

FOR PERMIT